

TOOELE COUNTY CORPORATON
CONTRACT # 12-04-03

ESCROW CERTIFICATE

TO: TOOELE COUNTY

The undersigned Escrow Agent does hereby certify that it has in its possession and custody, a cash deposit in the sum of \$121,847.00 which sum said Escrow Agent is holding in escrow to guarantee the installation and completion, according to Ordinance, Tooele County's subdivision ordinance and the agreement of Ivory Development, for subdivision improvements which is attached hereto as Exhibit I, for all off-site improvements on the following described tracts of land in Benson Mill Crossing Phase 5, Utah, to-wit:

Beginning at a point on the Northerly Boundary Line of Benson Mill Crossing Phase 1 PUD, recorded January 4, 2007 as Entry No. 275454 in Tooele County Records, said point also being S89°56'12"W 752.64 feet along the Section Line and North 349.10 feet from the Southwest Corner of Section 10, Township 2 South, Range 4 West, Salt Lake Base and Meridian; and running

thence South 40°00'16" West 116.88 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 81°24'47" West 93.35 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 66°04'37" West 69.19 feet;
thence North 50°59'42" West 55.39 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 30°14'05" West 53.98 feet;
thence North 08°30'45" West 135.66 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence South 89°12'05" West 201.14 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence Southeasterly 7.98 feet along the arc of a 483.04 feet radius curve to the left (center bears North 86°18'33" East and the chord bears South 04°09'51" East 7.98 feet with a central angle of 00°56'49") along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence South 84°53'12" West 102.82 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD to the Easterly Boundary Line of Kennecott property line;
thence North 00°53'30" East 128.96 feet;
thence South 89°06'30" East 160.01 feet
thence North 00°53'30" East 51.54 feet;
thence North 89°12'05" East 480.00 feet;
thence South 00°47'55" East 160.00 feet;
thence South 89°12'05" West 23.44 feet;
thence South 00°47'55" East 172.59 feet to the point of beginning.


Contains 164,466 Square Feet or 3.776 Acres and 16 Lots

Said Escrow Agent hereby covenants and agrees that it will not release said funds to any person, firm, or corporation (other than as is hereinafter provided) without the express written consent and direction from said Tooele County, and that if said improvements are not satisfactorily installed and completed, according to Ordinance, within one year from the date hereof, that the said Escrow Agent will, upon demand, deliver said funds to said Tooele County for the sole purpose of making and/or completing all of said improvements, and said County to return to the said Escrow Agent any and all

funds which may prove to be in excess of the actual cost to the County to make and/or complete said improvements. It is understood that the County may, at its sole option, extend said period of one year for such completion of such improvements and may require that the Escrow Account remain in place for one year following provisional acceptance of the improvements by Tooele County to satisfy the guarantee period if the Tooele County Commission determines that such extension is proper. It is further understood and agreed that all matters concerning this agreement shall be subject to the pertinent provisions of the said Tooele County Agreement for Subdivision Improvements (Exhibit I) and Tooele County's Subdivision Ordinance.

Dated: April 3, 2012.

ESCROW AGENT:

By  _____

**AGREEMENT
FOR
SUBDIVISION IMPROVEMENTS
(Escrow Account)**

THIS AGREEMENT is made and executed this ____ day of _____, 2_____, by and between Ivory Development, (hereinafter called "Subdivider"), and TOOELE COUNTY, a body politic and corporate of the State of Utah, (hereinafter called "County").

W I T N E S S E T H:

THAT, WHEREAS, the Subdivider has laid out and platted a proposed subdivision of land in Tooele County, said Subdivision to be known as Benson Mill Crossing Phase 5 is located at:

Beginning at a point on the Northerly Boundary Line of Benson Mill Crossing Phase 1 PUD, recorded January 4, 2007 as Entry No. 275454 in Tooele County Records, said point also being S89°56'12"W 752.64 feet along the Section Line and North 349.10 feet from the Southwest Corner of Section 10, Township 2 South, Range 4 West, Salt Lake Base and Meridian; and running

thence South 40°00'16" West 116.88 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 81°24'47" West 93.35 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 66°04'37" West 69.19 feet;
thence North 50°59'42" West 55.39 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence North 30°14'05" West 53.98 feet;
thence North 08°30'45" West 135.66 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence South 89°12'05" West 201.14 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence Southeasterly 7.98 feet along the arc of a 483.04 feet radius curve to the left (center bears North 86°18'33" East and the chord bears South 04°09'51" East 7.98 feet with a central angle of 00°56'49") along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD;
thence South 84°53'12" West 102.82 feet along the Northerly Boundary Line of said Benson Mill Crossing Phase 1 PUD to the Easterly Boundary Line of Kennecott property line;
thence North 00°53'30" East 128.96 feet;
thence South 89°06'30" East 160.01 feet
thence North 00°53'30" East 51.54 feet;
thence North 89°12'05" East 480.00 feet;
thence South 00°47'55" East 160.00 feet;
thence South 89°12'05" West 23.44 feet;
thence South 00°47'55" East 172.59 feet to the point of beginning.

Contains 164,466 Square Feet or 3.776 Acres and 16 Lots

WHEREAS, the Subdivider is requesting the County to give final approval of the aforesaid subdivision prior to the construction and installation of the street and other improvements required by law to be placed in or abutting said subdivision; and

WHEREAS, under County ordinances, rules and regulations, final approval in the aforesaid circumstances cannot be given unless the Subdivider files with the County a bond for the purpose of

assuring the actual construction and installation of the required improvements in a satisfactory manner within a one (1) year period; and

WHEREAS, the Subdivider desires to provide such financial assurance by depositing funds in an Escrow Account.

NOW, THEREFORE, in consideration of the mutual promises, terms and conditions hereof, the parties agree as follows:

1. The Subdivider agrees to construct, install and pay for the street and other required improvements in or abutting the above-named subdivision. Said improvements shall be those required by law and County rules and regulations and as set forth on the Description of Improvements attached hereto as Exhibit "A", which Exhibit is made a part of this Agreement by this reference thereto.

2. The Subdivider covenants and agrees to construct and install the required improvements as aforesaid in accordance with specifications promulgated by the County Engineer and other approving County departments and to complete said construction and installation within a period of one (1) year from the date of this Agreement. The Subdivider covenants and agrees to pay the full and total cost of the construction and installation called for herein, the amount of which is estimated by the County Engineer to be \$121,847.00. In the event of default or non-compliance, the Subdivider agrees that the County shall have the right and be entitled to the specific performance of all covenants and promises contained herein in addition to the other remedies hereinafter set forth.

3. In addition to making the foregoing covenants, the Subdivider has filed with an Escrow Agent the above-referenced sum as a financial assurance as required by law for the purpose of guaranteeing and assuring the construction, installation and payment of the required street and other improvements in or abutting the above-named subdivision. Said bond is in the form of an Escrow Account issued by Wells Fargo Bank, N.A., entitled "Escrow Certificate", in the amount of \$121,847.00. Said Escrow Certificate is to be issued in favor of the County to the account of # 100 2671, Subdivider herein, which is attached hereto as Exhibit "B" and is made a part of this Agreement as to all of its provisions by this reference thereto.

4. The Subdivider hereby assigns and sets over to the County all of the right, title and interest of the Subdivider in the full proceeds of the aforesaid Escrow Account and does hereby also transfer and assign to the County the right to make demand and collect from the Escrow Agent the proceeds thereof in the event of any default or non-compliance in the performance for which this Escrow Account is posted and filed.

5. The County agrees not to make demand for or collect the proceeds of the aforesaid Escrow Certificate for a period of one (1) year from the date of this Agreement. The County further agrees that if within the aforesaid one (1) year period the street and other improvements set forth herein have been constructed and installed in accordance with County standards, as determined by the County Engineer, pursuant to inspection thereof, the County will release the Escrow Account and return the same to the issuer thereof for cancellation.

6. In the event of default or non-compliance with the provisions hereof by the Subdivider, it is agreed the County may demand the proceeds of the Escrow Account specified herein and collect the same from the Escrow Agent. Upon such collection, the County may use and expend said proceeds to construct or complete the improvements required hereunder or cause the same to be done.

7. It is expressly understood, covenanted and agreed between the parties that the filing of this Bond Agreement and the acceptance thereof by the County shall not constitute a waiver or estoppel against the County and shall not relieve or be interpreted to relieve the Subdivider from the obligation to construct, install and fully pay for the improvements in or abutting the subdivision named herein as required. Further, the Subdivider expressly covenants and agrees that in the event the County exercises the default or non-compliance provisions hereof and pursuant thereto collects the proceeds of the Escrow Account performs the construction and installation required of the Subdivider hereunder, or causes the same to be done, that any and all costs incurred by the County in so doing will be paid by the Subdivider, including administrative, engineering and legal fees and costs. If the amount collected by the County from the Escrow Account on a default or non-compliance as aforesaid, is not sufficient to pay the total cost of construction and installation, the Subdivider also hereby expressly covenants and agrees to assume and pay all deficiency amounts that may occur.

8. The Subdivider agrees that the improvements provided for herein, and every part thereof, will remain in good condition for a period of one (1) year after the date of conditional acceptance by the Tooele County Commission, and agrees to make all repairs to and maintain the improvements, and every part thereof, in good condition during that one year period at no cost to Tooele County. It is further agreed and understood that the identifying necessity for repairs and maintenance of the work rests with the County Engineer, whose decision upon the matter shall be final and binding upon the Subdivider, and the guarantee hereby stipulated shall extend to and include, but shall not be limited to the entire street, subgrade, base, and surface and all pipes, joints,

valves, backfill and compacting as well as the working surface, curbs, gutters, sidewalks and other accessories that are or may be affected by the construction operations. Whenever in the judgment of the County Engineer, said work shall be in need of repairs, maintenance, or rebuilding, he shall cause a written notice to be served the Subdivider, and thereupon the Subdivider shall undertake and complete such repairs, maintenance or rebuilding. If the Subdivider fails to timely complete the repairs, maintenance or rebuilding, Tooele County shall have such repairs made and the cost of such repairs shall be reimbursed to the County from the Escrow Account, or if the Escrow Account is insufficient to pay for said work, by the Subdivider. The Tooele County Commission may, upon completion of the subdivision improvements, release such portions of the Escrow Account as it deems appropriate but shall retain sufficient amounts to ensure that the subdivision improvements shall remain in good condition for the specified one year period.

9. Conditional acceptance of all subdivision improvements shall be in writing from Tooele County, after written approval has been received from the County Engineer. Final inspection by the County Engineer shall be made one year after all work has been completed and before release of the Escrow Account. All defects shall be corrected before acceptance by Tooele County. Final acceptance shall be in writing by Tooele County after written approval is provided by the County Engineer.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this

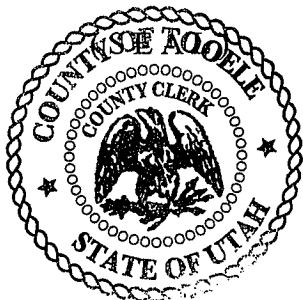
17th day of April, 2012.

ATTEST:

TOOELE COUNTY


MARILYN GILLETTE, Clerk


COLLEEN JOHNSON, Chairman

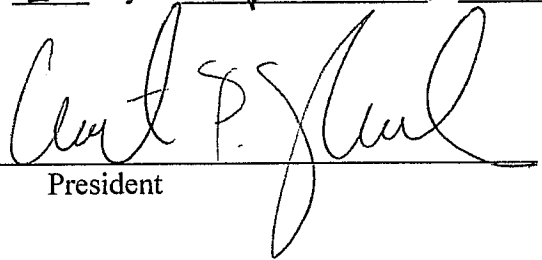


The officers who sign this Agreement hereby certify that this Agreement and the covenants represented thereby was duly authorized under a resolution duly adopted by the Board of Directors of the Subdivider at a lawful meeting duly held and attended by a quorum.

IN WITNESS WHEREOF, the Subdivider has caused its corporate name and seal to be hereunto affixed by its duly authorized officers this 2nd day of April, 2012.

ATTEST:

Secretary



President

(SEAL)



SUBDIVISION & DEVELOPMENT IMPROVEMENT COST ESTIMATE

This signed agreement must be accompanied with an Agreement for Subdivision Improvements and performance bond in a form that complies with the Tooele County Code and the Uniform Zoning Ordinance of Tooele County and is equal to the amount of the estimated construction cost shown below

FOR Benson Mill Crossing - Phase 5 PUD SUBDIVISION/DEVELOPMENT

Improvement	Quantity	Unit	Unit price	Est. Cost
Road const.	805	L.F.	80 ⁰⁰	64,400 ⁰⁰
Curb & Gutter	1391	L.F.	14 ⁵⁰	20,169 ⁵⁰
Sidewalks	1405	L.F.	15 ⁵⁰	21,777 ⁵⁰
Street monuments & boxes	3	E.A.	500 ⁰⁰	1,500 ⁰⁰
Culverts	-	-	-	-
Storm drainage	-	-	-	-
Engineering/survey work	1	L.S.	-	14,000 ⁰⁰
Fencing	-	-	-	-
Financial Assurance:				\$ 121,847⁰⁰

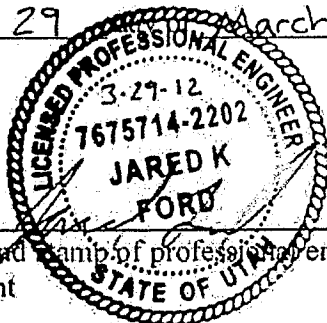
Sign Inventory			
Type	Cost each	Quantity	Total
Street name	200	2	400 ⁰⁰
Stop	200	2	400 ⁰⁰
Speed limit			
Curve			
Yield			
Slow			
Children playing			
Dead end			
Total sign costs			\$ 800⁰⁰
3% of Financial Assurance for improvement inspections			\$ 3,655⁴¹
Total Amt of Check			\$ 4,455⁴¹
Check # <u>10812/10813</u>			
Date:	<u>04/05/2012</u>	Receipt #	<u>15857/15858</u>

The above improvements shall be constructed in accordance with the requirements set forth by the Tooele County Department of Engineering. Compliance and conformance shall be determined by the Tooele County Department of Engineering.

Approved as to the amount and estimate

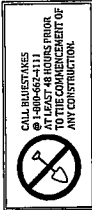
Dated this 29 March, 2012

Dated this 29 day of MARCH 2012



Signature and Stamp of professional engineer for the development

[Signature]
Director, Department of Engineering



CALL IN ADVANCE
 @ 1-800-462-1111
 AT LEAST 48 HOURS PRIOR
 TO THE COMMENCEMENT OF
 ANY CONSTRUCTION.

BENSON MILL CROSSING PHASE 5 PUD



BENSON MILL CROSSING PHASE 5 PUD FINAL APPROVAL SET - 3/27/2012

STANSBURY, UTAH

INDEX OF DRAWINGS

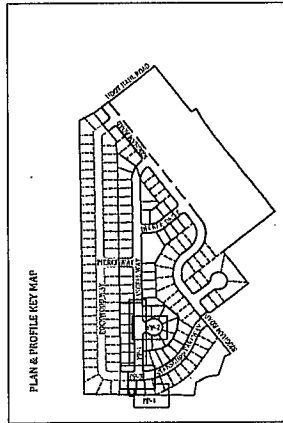
- C-0-1 COVER SHEET
- C-1-1 PLAT
- C-2-0 GRADING & DRAINAGE PLAN
- C-2-1 OVERALL GRADING & DRAINAGE PLAN
- C-3-0 OVERALL UTILITY PLAN
- C-4-0 EROSION AND SEDIMENT CONTROL PLAN
- C-5-0 DETAIL SHEET
- C-5-1 DETAIL SHEET
- C-5-2 DETAIL SHEET
- C-6-0 GENERAL NOTES
- PP-1 PLAN AND PROFILE - ANGELL WAY
- PP-2 PLAN AND PROFILE - SNIVELY COURT
- PP-3 PLAN AND PROFILE - STANSBURY PARKWAY
- PP-4 PLAN AND PROFILE - WALL

UTILITY DISCLAIMER
 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES AND FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES.

NOTICE TO CONTRACTOR
 ALL UTILITIES AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES.

FOR APPROVAL
 DATE PAID
 APPROVAL

NOTICE TO DEVELOPER/CONTRACTOR
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES AND FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE UTILITY COMPANIES.

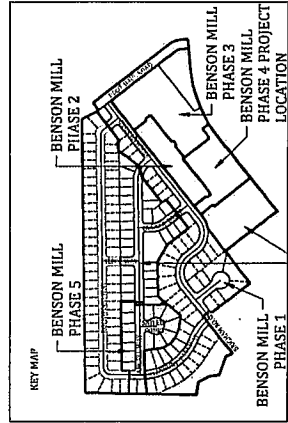


PLAN & PROFILE KEY MAP

NO SCALE

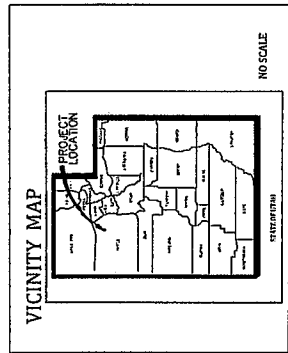
DEVELOPER
 IVORY DEVELOPMENT, LLC
 978 EAST WOODBINE LANE
 PROVO, UT 84601
 CONTACT: BRAD HAWKAY

TOWNSHIP ENGINEERING DEPARTMENT APPROVED BY: _____ DATE: _____	STANSBURY PARK IMPROVEMENT DISTRICT APPROVED AS TO DISTRICT: _____ DATE: _____
--	--



KEY MAP

NO SCALE



VICINITY MAP

NO SCALE

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH UTAH STATE PLANS STANDARDS & SPECIFICATIONS.
2. CALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
3. EXCAVATION SHALL BE TO A MINIMUM DEPTH OF 4 FEET UNLESS OTHERWISE SPECIFIED.
4. ALL EXCAVATION SHALL BE BACKFILLED WITH COMPACTED FILL TO ORIGINAL GRADE.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES THROUGHOUT THE CONSTRUCTION PERIOD.

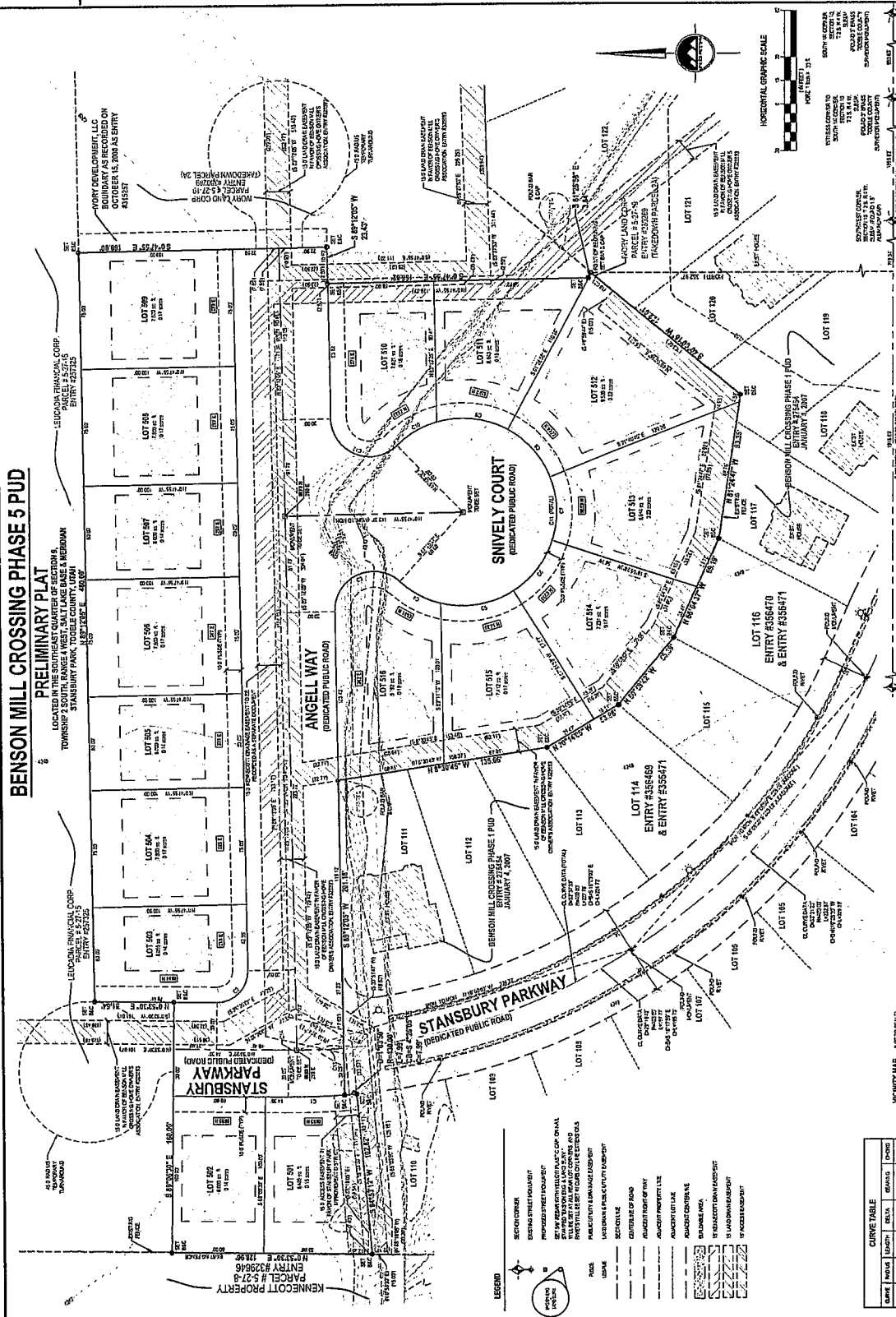
ENGINEER/SURVEYOR:

MATT LANE, P.E.
 LICENSE NO. 12345
 STATE OF UTAH
 PROFESSIONAL ENGINEER
 CIVIL
 EXPIRES 12/31/2014

BENSON MILL CROSSING PHASE 5 PUD

PRELIMINARY PLAN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE & MERIDIAN
STANBURY PARK, TOWNSHIP PARK, TOWNSHIP COUNTY, UTAH



SHIRTLEYS CERTIFICATE
I, the undersigned, being a duly qualified and licensed Professional Engineer in the State of Utah, do hereby certify that the above described plat is a true and correct copy of the original as filed in my office, and that the same conforms to the provisions of the Utah Subdivision Map Act, Chapter 2, Title 20, Utah Code Annotated, 1953, as amended.

BOUNDARY DESCRIPTION
A portion of the Section 8, Township 2 South, Range 4 West, Salt Lake Base and Meridian, Salt Lake County, Utah, containing approximately 124 acres, more or less, is shown on the attached plat. The plat is a true and correct copy of the original as filed in my office, and that the same conforms to the provisions of the Utah Subdivision Map Act, Chapter 2, Title 20, Utah Code Annotated, 1953, as amended.



BENSON MILL CROSSING PHASE 5 PUD
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE & MERIDIAN
STANBURY PARK, TOWNSHIP COUNTY, UTAH

TOWNSHIP PARK INTEREST DISTRICT
APPROVED BY THE TOWNSHIP BOARD OF TOWNSHIP PARK, UTAH
DATE: 10/15/2009

STANBURY PARK SERVICE AGENCY
APPROVED BY THE STANBURY PARK SERVICE AGENCY
DATE: 10/15/2009

ANGELL COUNTY FIRE DISTRICT
APPROVED BY THE ANGELL COUNTY FIRE DISTRICT
DATE: 10/15/2009

TOWNSHIP COUNTY ENGINEERING DEPARTMENT
APPROVED BY THE TOWNSHIP COUNTY ENGINEERING DEPARTMENT
DATE: 10/15/2009

TOWNSHIP COUNTY PLANNER
APPROVED BY THE TOWNSHIP COUNTY PLANNER
DATE: 10/15/2009

DEVELOPER
IRON DEVELOPMENT, LLC
1000 SOUTH 1000 WEST
MURKIN, UTAH 84042
801-471-2440

DESIGNER
ENSTATION
1000 SOUTH 1000 WEST
MURKIN, UTAH 84042
801-471-2440

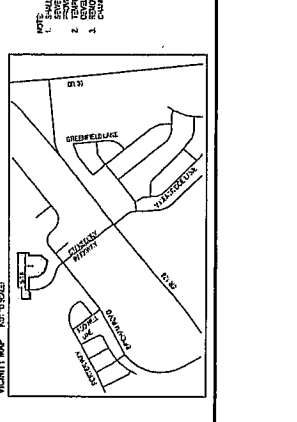
PROJECT NUMBER 1009
PROJECT NAME BENSON MILL CROSSING PHASE 5 PUD
DATE 10/15/2009

SCALE AS SHOWN

DATE 10/15/2009

NOTES:

- SHALLOW BURIED UNDERGROUND UTILITIES SHALL VERIFY DEPT. RECORDS FOR ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES LOCATED ON THE SITE. DEVELOPER SHALL VERIFY ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES LOCATED ON THE SITE.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES LOCATED ON THE SITE.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES LOCATED ON THE SITE.



MARK	NOTES	SCALE	DATE	BY	CHKD
C1	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C2	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C3	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C4	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C5	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C6	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C7	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C8	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C9	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C10	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C11	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C12	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C13	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C14	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C15	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C16	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C17	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C18	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C19	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009
C20	1009	10/15/2009	10/15/2009	10/15/2009	10/15/2009



451 W. 10000 S. Suite 500
 Sandy, UT 84070
 Phone: (801) 555-8599
 Fax: (801) 555-8419

LAYTON
 Phone: (801) 547-1100

TOOELE
 Phone: (888) 333-3390

CEARCA CITY
 Phone: (888) 333-1153

RICHFIELD
 Phone: (888) 333-9187

www.ensign.com/ut

BY: [Signature]
 DATE: 10/11/17
 PROJECT: STANSBURY PARK IMPROVEMENT DISTRICT

BENSON MILL CROSSING PHASE 5 PUD STANSBURY, UTAH



OVERALL UTILITY
 PLAN

DATE: 10/11/17
 SCALE: AS SHOWN
 SHEET NO.: C-3.0

STANSBURY PARK IMPROVEMENT DISTRICT
 APPROVED AS SHOWN DATE: 10/11/17

STANSBURY PARK IMPROVEMENT DISTRICT
 APPROVED AS SHOWN DATE: 10/11/17

TOOELE CO. ENGINEERING DEPARTMENT
 APPROVED AS SHOWN DATE: 10/11/17

UTAH COUNTY ENGINEER
 APPROVED AS SHOWN DATE: 10/11/17

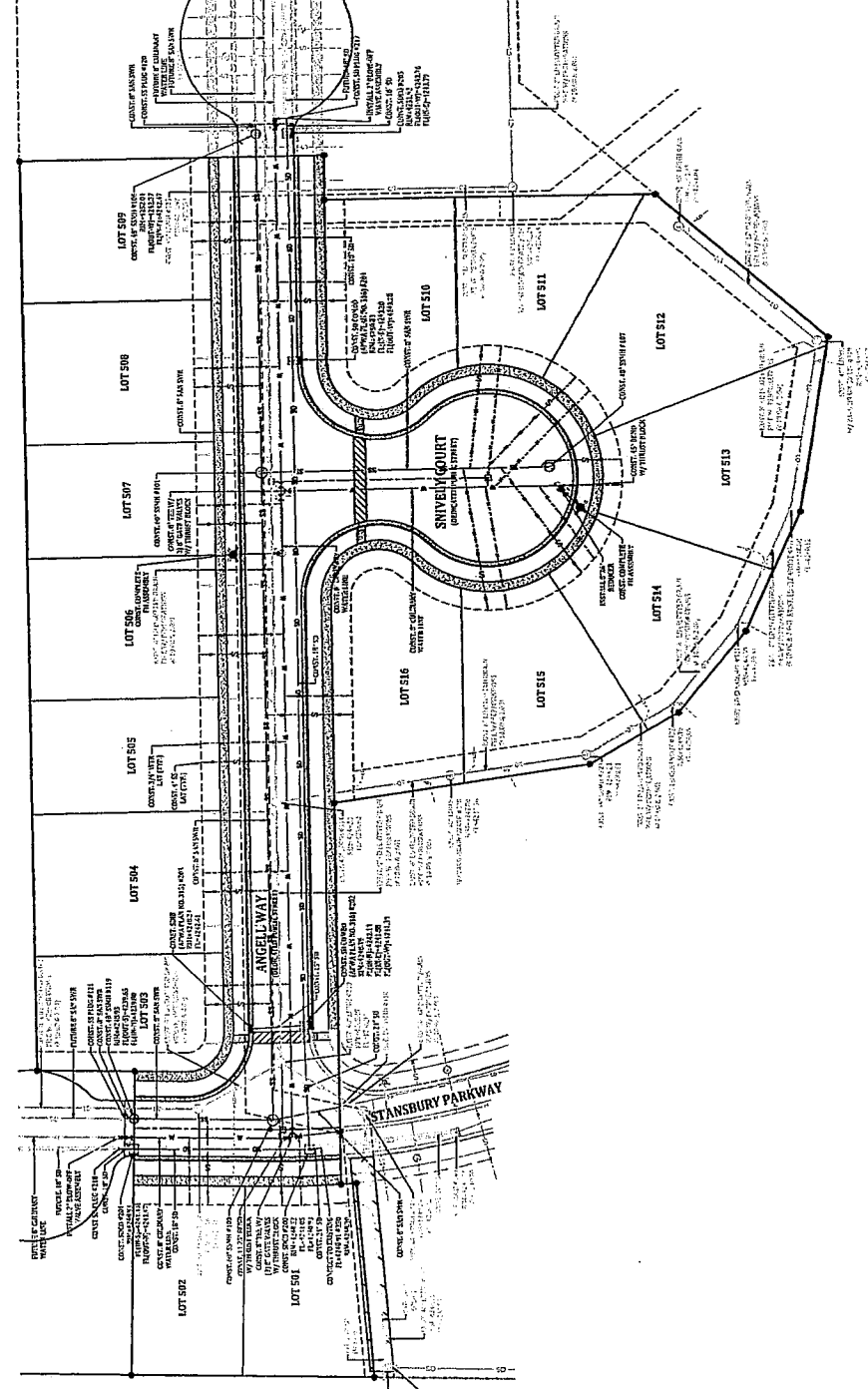
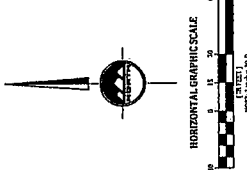
NOTE

1. PRIOR TO CONSTRUCTION OF ANY UTILITY, THE NATURAL SETBACK BE IN PLACE TO BE ADHERED TO.
2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY STANDARDS AND SPECIFICATIONS.
3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY STANDARDS AND SPECIFICATIONS.

LEGEND

- PROPOSED 12" WATER MAIN
- PROPOSED 18" WATER MAIN
- PROPOSED 24" WATER MAIN
- PROPOSED 30" WATER MAIN
- PROPOSED 36" WATER MAIN
- PROPOSED 42" WATER MAIN
- PROPOSED 48" WATER MAIN
- PROPOSED 54" WATER MAIN
- PROPOSED 60" WATER MAIN
- PROPOSED 66" WATER MAIN
- PROPOSED 72" WATER MAIN
- PROPOSED 78" WATER MAIN
- PROPOSED 84" WATER MAIN
- PROPOSED 90" WATER MAIN
- PROPOSED 96" WATER MAIN
- PROPOSED 102" WATER MAIN
- PROPOSED 108" WATER MAIN
- PROPOSED 114" WATER MAIN
- PROPOSED 120" WATER MAIN
- PROPOSED 126" WATER MAIN
- PROPOSED 132" WATER MAIN
- PROPOSED 138" WATER MAIN
- PROPOSED 144" WATER MAIN
- PROPOSED 150" WATER MAIN
- PROPOSED 156" WATER MAIN
- PROPOSED 162" WATER MAIN
- PROPOSED 168" WATER MAIN
- PROPOSED 174" WATER MAIN
- PROPOSED 180" WATER MAIN
- PROPOSED 186" WATER MAIN
- PROPOSED 192" WATER MAIN
- PROPOSED 198" WATER MAIN
- PROPOSED 204" WATER MAIN
- PROPOSED 210" WATER MAIN
- PROPOSED 216" WATER MAIN
- PROPOSED 222" WATER MAIN
- PROPOSED 228" WATER MAIN
- PROPOSED 234" WATER MAIN
- PROPOSED 240" WATER MAIN
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- PROPOSED 270" WATER MAIN
- PROPOSED 276" WATER MAIN
- PROPOSED 282" WATER MAIN
- PROPOSED 288" WATER MAIN
- PROPOSED 294" WATER MAIN
- PROPOSED 300" WATER MAIN

BENCHMARK
 SHOWS QUANTITIES OF WORK TO BE DONE IN THIS DISTRICT.
 DATE: 10/11/17



C-3.0



SAULT LAKE CITY
45 W. 1000 S. SHS 500
Sault, UT 84070
Phone: 801.255.1499
Fax: 801.255.1449

LAYTON
Phone: 801.547.1100

TORRELE
Phone: 330.843.3390

CEGAR CITY
Phone: 330.843.1453

WINTERSVILLE
Phone: 435.594.0187
Wintersville, OH

WINTERSVILLE
Phone: 435.594.0187
Wintersville, OH

WINTERSVILLE
Phone: 435.594.0187
Wintersville, OH

BENSON MILL CROSSING
PHASE 5 PUD
STANSBURY, UTAH

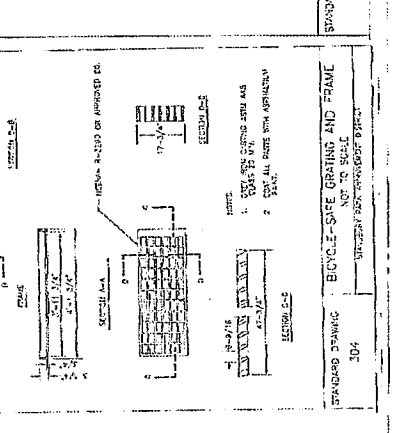
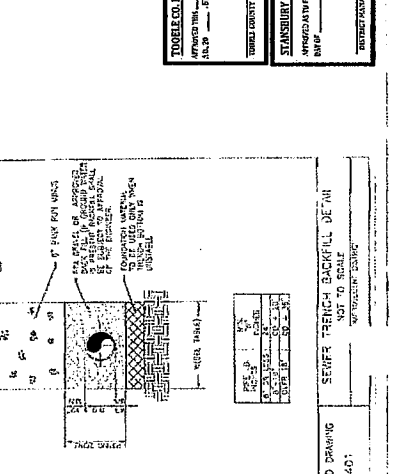
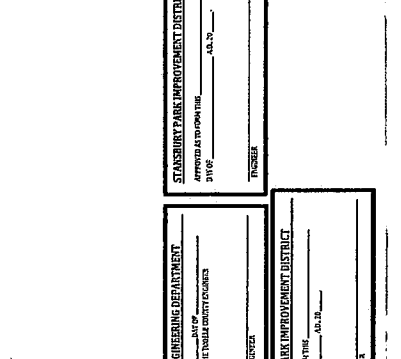
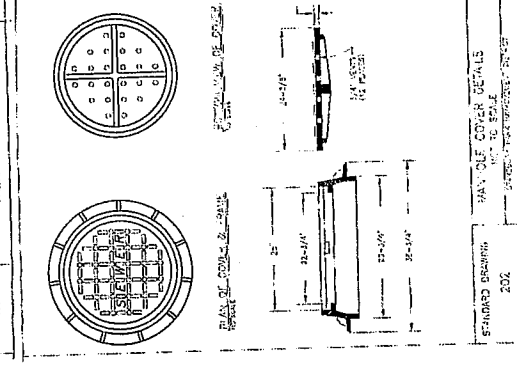
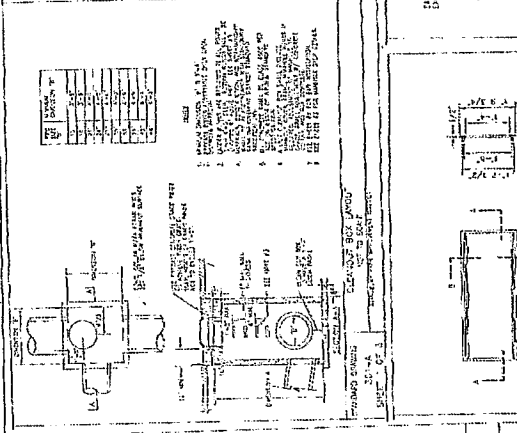
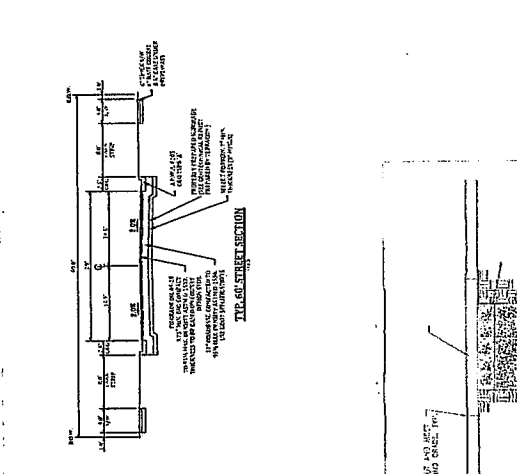
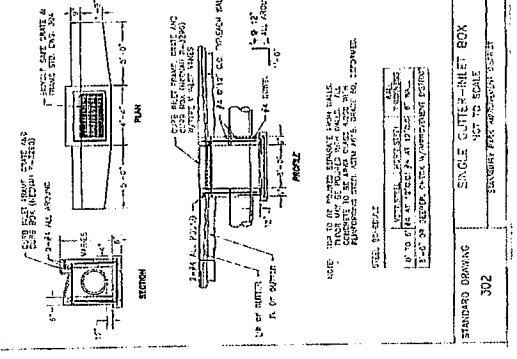
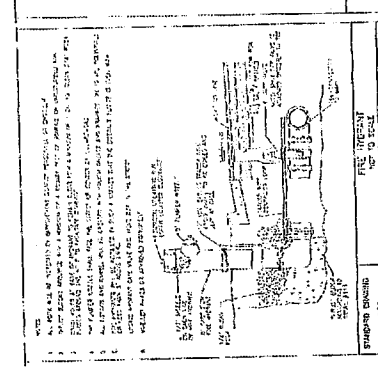
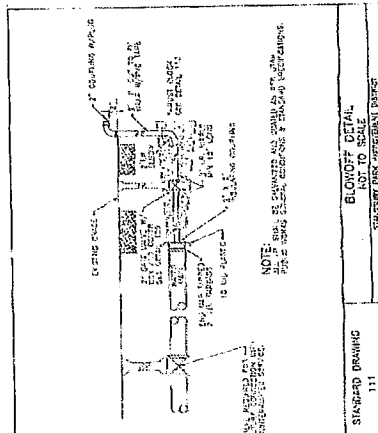
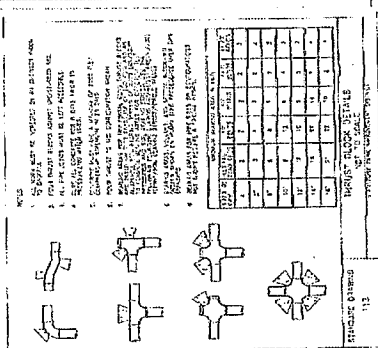
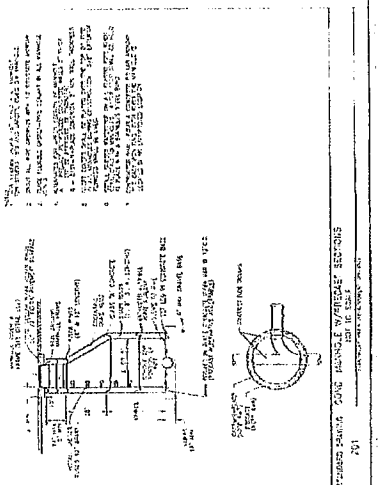


STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____

C-5.1



STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED BY THE DISTRICT BOARD
DATE: _____



153
Precast manhole
SECTION A-A
SECTION B-B

NO.	DESCRIPTION	AMOUNT	UNIT
1	CAST-IN-PLACE BASE	1.00	CU YD
2	PIPE DECK THROUGH BASE	1.00	PIECE
3	PIPE DECK THROUGH RISER	1.00	PIECE
4	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
5	MANHOLE	1.00	UNIT
6	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
7	MANHOLE	1.00	UNIT
8	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
9	MANHOLE	1.00	UNIT



154
Precast manhole
SECTION A-A
SECTION B-B

NO.	DESCRIPTION	AMOUNT	UNIT
1	CAST-IN-PLACE BASE	1.00	CU YD
2	PIPE DECK THROUGH BASE	1.00	PIECE
3	PIPE DECK THROUGH RISER	1.00	PIECE
4	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
5	MANHOLE	1.00	UNIT
6	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
7	MANHOLE	1.00	UNIT
8	CONCRETE DECK OR REDUCING RISER	1.00	PIECE
9	MANHOLE	1.00	UNIT

1. UNGRAVELLED BASE COURSE: Provide materials specified in APWA Section 03 11 22.
 - A. Do not place gravel in a location or manner that causes uneven settlement.
 - B. Place material per APWA Section 03 11 22.
 - C. Maximum depth of gravel to be compacted shall be 48 inches when using vibrating equipment or 6 inches when using hand tamped compaction equipment.
2. BACKFILL: Provide and place per APWA Section 03 11 23. Compact per APWA Section 03 11 23. Backfill shall be compacted to a minimum of 95 percent or greater. Maximum fill thickness is 6 inches unless otherwise specified.
3. CONCRETE: Place and cure per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure per APWA Section 03 30 10.
4. STATIONING AND ELEVATIONS
 - A. Stationing shall be in accordance with the drawings and the project manual.
 - B. Elevation shown at the shaft's center shall be the proposed (or extended) invert.
 - C. Final cast elevation applies to a center of excavation of the inlet pipe invert to the manhole wall.
5. CONCRETE DECK OR REDUCING RISER: Where depth of manhole from pipe invert to finish grade exceeds 6'-7", use an ASTM C 478 reducing deck course.
6. DISTANCE "P": "P" varies as per size of pipe, such that the horizontal in-line diameter of the pipe intersects the top face of the riser.
7. JOINTS: Place flexible gasket-type seals in all manhole joints.
8. BASE OF MANHOLE: Pour in one continuous operation.
9. FINISH: Provide smooth and neat finish on all interior of shafts, shafts, and tops. Imperfect masonry or non-combustible will not be accepted.

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Precast manhole

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Precast manhole

**STANSBURY PARK IMPROVEMENT DISTRICT
STANDARD CONSTRUCTION NOTES**

GENERAL NOTES:

- Call before you dig, 1x 16' and 1x the law, 1-800-462-4111.
- The locations of underground utilities shown on this plan are diagrammatic only, and all utilities may not be shown. The contractor shall contact the proper local authorities or respective utility company to confirm the location of all existing utilities before commencing work. Any damage due to failure of the Contractor to contact the proper authorities shall be borne by the contractor.
- Existing utilities have been shown on the plans using a combination of on-site surveys and as-shield drawings. Contractor shall verify location and depths of existing utilities to which new utilities will be connected prior to beginning construction. Contractor is responsible for obtaining the required encroachment permits from "Local County when working within the right-of-way".
- All utility water, sanitary sewer, and storm drain improvements shall conform to the latest SPID Standards for Design and Construction.
- It shall be the limit of work that is reviewed shall be returned to its original condition as to exist to the owner, SPID or the local County.
- It shall be the contractor's responsibility to determine all of the drawings and specifications before commencing construction. Contractor shall maintain a minimum of one foot vertical separation between utility crossings.
- The contractor shall maintain a minimum of one foot vertical separation between utility crossings.
- Storm basins shall be constructed to meet or exceed local, state and federal standards to provide adequate fill into sewer lateral. Buildings with a basement may not have sewer service available for the basement.

Culinary Waste Boxes:

- All culinary waste enclosures shall comply with SPID culinary waste design standards and construction specifications.
- Install water system components and maintain blocking according to SPID standards and such that maximum static pressure is 125 psi and such that maximum soil bearing pressure does not exceed 1,500 psi.
- Where trench is required on all water system pipes and appurtenances.
- Unless otherwise specified, all pipe shall be 40' by 40' heavy duty PVC C900. Service lines shall be 3/4" iron pipe size poly service plastic with a minimum of 40' depth below finished grade.
- All water lines shall be installed a minimum of 48" below finished asphalt grade.
- The flush grates within ten feet of the hydrants shall not exceed above the bery depth line of the hydrant barrel.
- The contractor shall contact SPID for chlorine testing prior to the wastewater being flushed. The chlorine test shall be performed in accordance with SPID standards and specifications.
- The contractor shall contact SPID for wastewater pressure testing. The wastewater pipe pressure tested at 200 psi for 2 hours at a minimum shall be held at that pressure for a minimum of 12 hours.
- All valves and covers shall be raised or lowered to meet finished grade.
- Contractor shall maintain at least 10 feet horizontal separation between waterlines and sewer lines.
- All linked fittings, including suspension stops and service saddles, must be grouted and wrapped.
- The contractor shall contact SPID prior to pouring the concrete collar on valve boxes. The valve boxes will be inspected to ensure they've centered and vertical over valve.
- Throughout the two year warranty period the meter boxes shall be maintained in a cleaned, non-damaged condition. The meter boxes shall be inspected and maintained at 2' below-offset at the end of all culinary water lines.
- The main line valve will be installed prior to 2' below-offset at the end of all culinary water lines.

Sanitary Service Notes:

- All sanitary sewer construction shall comply with SPID sewer design standards and construction specifications.
- Sanitary sewer lines shall be 4" or larger diameter pipe with 12" of general ground pipe perimeter, unless specific material is indicated.
- Contractor shall cut pipes off flush with the inside wall of the box or manhole.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover and cover sections.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.
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- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.

Storm Drain Notes:

- All storm drain construction shall comply with SPID storm drain design standards and construction specifications.
- All storm drain lines shall be 12" pipe and encased with a min. of 12" of general ground pipe perimeter, unless specific material is indicated.
- All manhole covers shall be raised or lowered to meet 3/8" below finished grade.
- Flat frames and cover manhole lids are not allowed on storm drain manholes.
- Contractor shall cut pipe off flush with the inside wall of the box or manhole.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.
- Contractor shall ensure no-thick gaps between manhole boxes and cover and cover sections.

Basement Control Issues:

- All erosion control measures shall be maintained in fully functional condition until final stabilization of the site.
- All erosion and sedimentation control measures shall be checked by a qualified contractor every 15 minutes during any construction activity. If necessary, the contractor shall be notified immediately upon discovery. The owner's representative shall make routine checks on all erosion control measures to determine if repairs or treatment is necessary. Due to conditions that may arise in the field, additional control may be determined to be necessary.
- Silt fence barriers shall be inspected immediately after each rainfall and at the least daily following prolonged rainfall. Catch basins or catchment basins shall be cleaned and maintained as needed. Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.
- Any sediment deposits on the road shall be removed and the road surface shall be resurfaced as needed for utility construction and placement of bituminous paving for road construction.

GENERAL NOTES:

- All Six (6), Eight (8), Ten (10) inch water valves shall be gate valves (GV) and Two-inch (2") inch and larger valves shall be globe valves (GV).
- Two (2) inch blow-off are required at the end of all water lines. Per SPID Standard Detail No. 111.
- All Storm drain manholes shall be 4' diameter unless noted on Plans & Profile sheets for site.
- All sewer lines shall be 300-33 PVC sewer.
- Double check valves shall be installed on all sanitary sewer lines, including any horizontal pipes and such lines that a cleaning velocity of 2 ft/sec can be obtained.
- Double check valves are not approved for the sprinkler irrigation system, use reduced pressure principle assembly.
- Double check valves may be associated with this Contractor shall notify all utility companies in accordance with the respective procedures.
- The locations of water ground utilities shown on this plan are diagrammatic only, and all utilities may not be shown. The contractor shall contact the proper local authorities or respective utility company to confirm the location of all existing utilities before commencing work. Any damage due to failure of the Contractor to contact the proper authorities shall be borne by the contractor.
- Care should be taken in all excavations due to possible existence of unrecorded utility lines.
- Excavation required within proximity of existing utility lines shall be done by hand. Contractor shall repair any damage to existing utilities.
- All sewer lines shall be installed in a trench which shall be set with respect to both hand drain and sewer pipe elevation, but not lower than elevation 42.000.

**BENSON MILL CROSSING
PHASE 3 PUD
STANSBURY, UTAH**

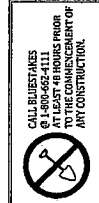


SCALE: AS SHOWN
DATE: 06/24/2016
DRAWN BY: JAJ

GENERAL NOTES:

NO CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION CONTAINED HEREIN UNLESS SPECIFICALLY STATED OTHERWISE.

C-6.0



BENCHMARK
SOUP RESTAURANT OF SECTION 14
1400 S. 1000 EAST
SALT LAKE CITY, UT 84119
BY DRAWN - 011317

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED AS TO PLAN THIS DATE: _____
DATE: _____
DISTRICT ENGINEER

STANSBURY PARK IMPROVEMENT DISTRICT
APPROVED AS TO PLAN THIS DATE: _____
DATE: _____
DISTRICT ENGINEER

TABLE CO. ENGINEERING DEPARTMENT
APPROVED THIS DATE OF: _____
BY: THE PROJECT ENGINEER
PROJECT ENGINEER



ENSTEN
 45 W. MOORE, Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4149

LAYTON
 Phone: 801.571.1100

TOOELE
 Phone: 435.841.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.590.8187

WYNDENBOROUGH

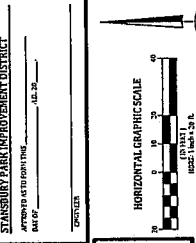
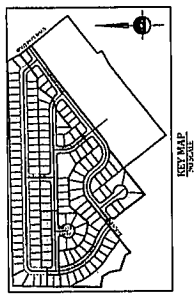
BENSON MILL CROSSING
PLAN AND PROFILE
STANBURY PHASE 5 PUD
STANBURY, UTAH



ANGELA WAY
PLAN AND PROFILE
STN: 10+00 - 15+25

PROJECT NO. 10-0000
 SHEET NO. 11000
 DATE: 11/20/10

PP-1



STANBURY PARK IMPROVEMENT DISTRICT
 APPROVED AS TO PLANS: _____ DATE: _____

TOOELE COUNTY ENGINEERING DEPARTMENT
 APPROVED AS TO PUBLIC SAFETY: _____ DATE: _____

TOOELE COUNTY ENGINEER
 APPROVED AS TO PROFESSIONAL ENGINEERING: _____ DATE: _____

LEGEND

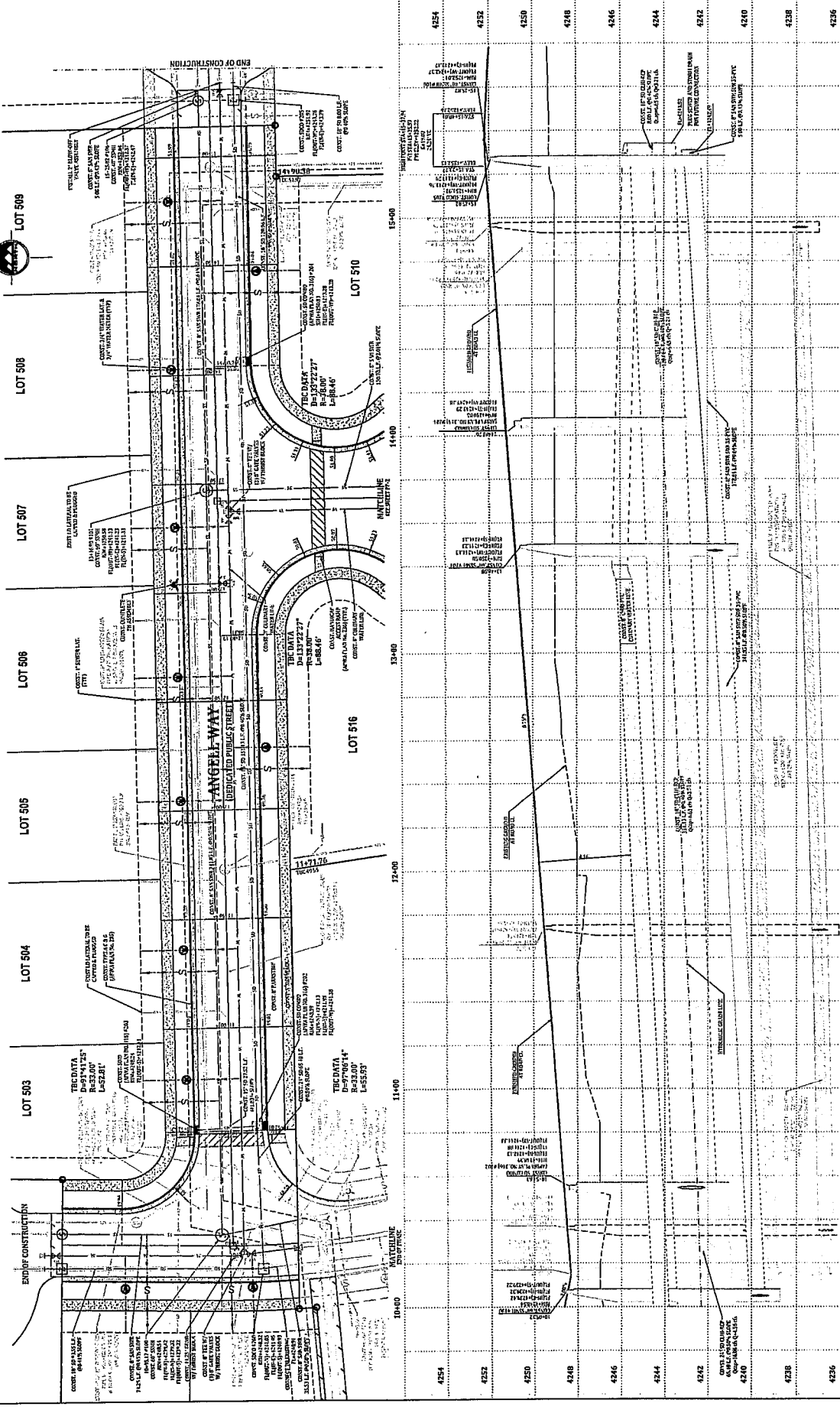
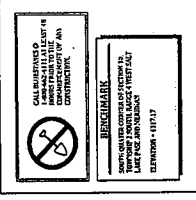
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(Symbol)	PROPOSED OTHER

NOTE

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE UTAH CONSTRUCTION ACT AND THE UTAH PROFESSIONAL ENGINEERING ACT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

NOTICE TO CONTRACTOR

The owner of this project is not responsible for any errors or omissions in this drawing. The contractor shall be responsible for verifying all dimensions and conditions of the site before construction. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The contractor shall be responsible for maintaining access to all adjacent properties and for protecting all existing utilities and structures. The contractor shall be responsible for the safety of all workers and the public during construction. The contractor shall be responsible for the quality of all work and for providing a safe and sound structure. The contractor shall be responsible for the cleanup of the site and for restoring the site to its original condition. The contractor shall be responsible for the maintenance of all records and for providing a copy of the as-built drawings to the owner. The contractor shall be responsible for the payment of all taxes and fees. The contractor shall be responsible for the completion of the project within the specified time frame. The contractor shall be responsible for the satisfaction of the owner. The contractor shall be responsible for the success of the project.





SALT LAKE CITY
45 W. 1000 S. Suite 500
Salt Lake City, UT 84119
Phone: 801.552.6529
Fax: 801.552.4449

LAYTON
Phone: 801.547.1100

TOOLE
Phone: 801.547.3590

CEMAY
Phone: 801.547.4453

ROBERTS
Phone: 801.547.4453

WINDHAM
Phone: 801.547.4453

STANBURY
Phone: 801.547.4453

STANBURY
Phone: 801.547.4453

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Phone: 801.547.4453

STANBURY, UTAH
PHASE 5 PUD
BENSON MILL CROSSING



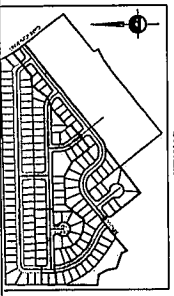
STANBURY, UTAH
PHASE 5 PUD
BENSON MILL CROSSING

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STANBURY, UTAH
PHASE 5 PUD
BENSON MILL CROSSING

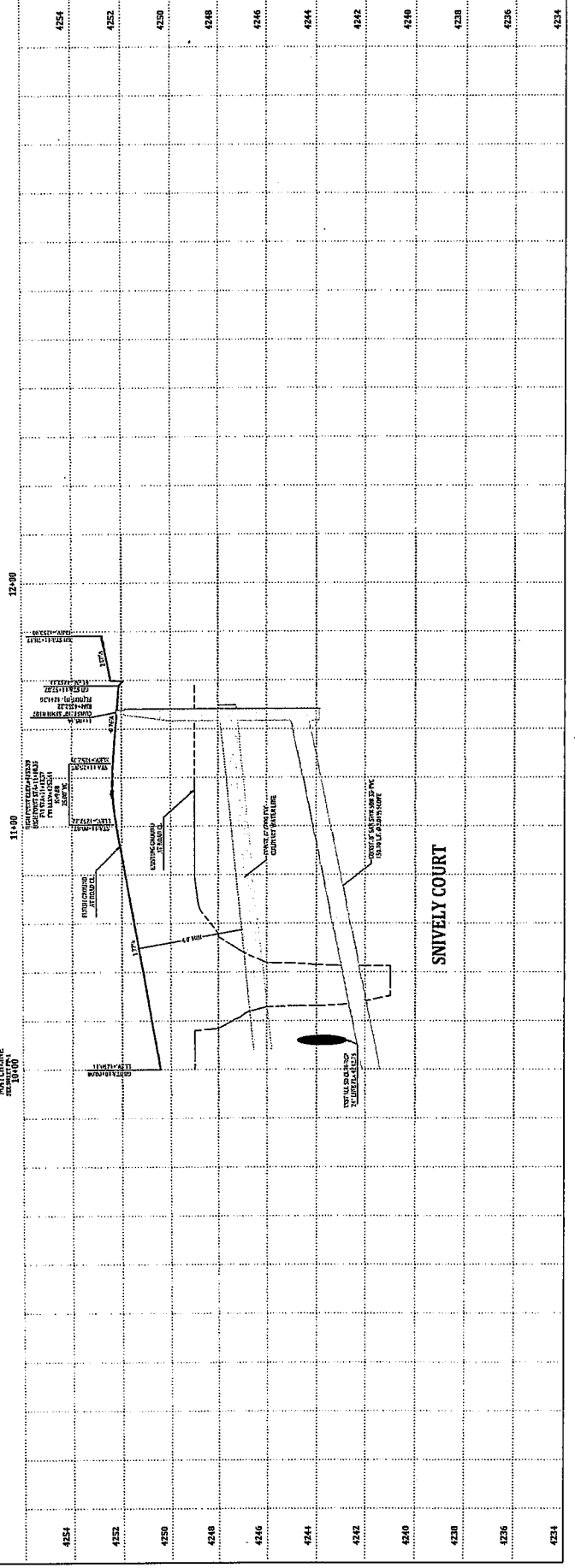
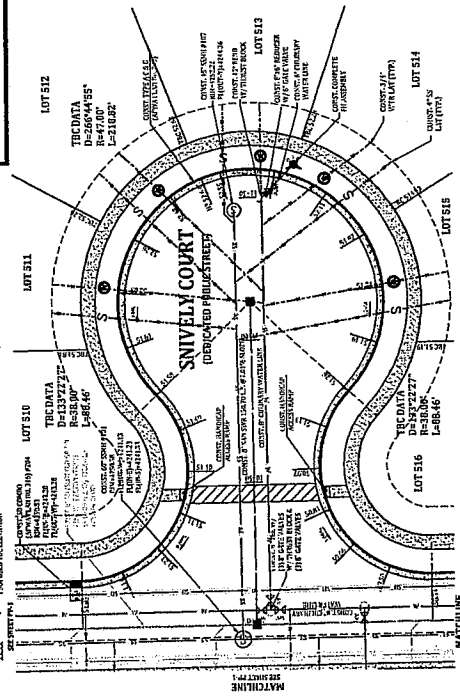
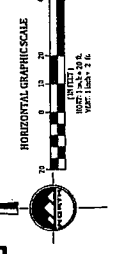


STANBURY PARK IMPROVEMENT DISTRICT
APPROVED THIS _____ DAY OF _____, 20____
BY _____ DISTRICT MANAGER

TOOLE CO. ENGINEERING DEPARTMENT
APPROVED THIS _____ DAY OF _____, 20____
BY _____ CIVIL ENGINEER

STANBURY PARK IMPROVEMENT DISTRICT
APPROVED THIS _____ DAY OF _____, 20____
BY _____ DISTRICT MANAGER

STANBURY PARK IMPROVEMENT DISTRICT
APPROVED THIS _____ DAY OF _____, 20____
BY _____ DISTRICT MANAGER



NOTE
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SALT LAKE CITY AND THE STATE OF UTAH.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SALT LAKE CITY AND THE STATE OF UTAH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SALT LAKE CITY AND THE STATE OF UTAH.
4. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.

NOTICE TO CONTRACTOR
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SALT LAKE CITY AND THE STATE OF UTAH.
ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.

BENCHMARK
SPRING QUARTER OF 2013
ELEVATION = 4713.1



SALT LAKE CITY
 90 E. Fort Union Blvd
 Suite 100
 Salt Lake City, UT 84104
 Phone: (801) 255-8529
 Fax: (801) 255-1449

LAYTON
 Phone: (801) 547-1100

PLEASANT GROVE
 Phone: (801) 960-8115

TOOELE
 Phone: (435) 843-3390
 WWW.ENSIGNUTAH.COM

STANBURY, UTAH
 1100 N. Main St.
 Suite 100
 Stanbury, UT 84404
 Phone: (435) 337-7900
 Fax: (435) 337-7900

BENSON MILL CROSSING
 PHASE 5 PUD



WALL PLAN AND PROFILE

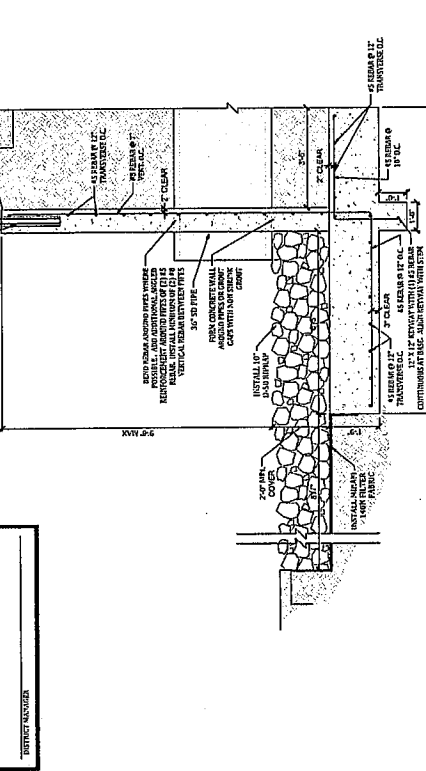
PP-4

STANBURY PARK IMPROVEMENT DISTRICT
 APPROVED BY: _____ DATE: _____
 AUTHORITY: _____

TOOELE CO. ENGINEERING DEPARTMENT
 APPROVED BY: _____ DATE: _____
 AUTHORITY: _____

STANBURY PARK IMPROVEMENT DISTRICT
 APPROVED BY: _____ DATE: _____
 AUTHORITY: _____

- LEGEND**
- 1. EXISTING UTILITY RIGHT-OF-WAY
 - 2. PROPOSED UTILITY RIGHT-OF-WAY
 - 3. EXISTING SIDEWALK
 - 4. PROPOSED SIDEWALK
 - 5. EXISTING DRIVEWAY
 - 6. PROPOSED DRIVEWAY
 - 7. EXISTING DRIVEWAY CURB
 - 8. PROPOSED DRIVEWAY CURB
 - 9. EXISTING DRIVEWAY PAVEMENT
 - 10. PROPOSED DRIVEWAY PAVEMENT
 - 11. EXISTING DRIVEWAY CURB AND PAVEMENT
 - 12. PROPOSED DRIVEWAY CURB AND PAVEMENT
 - 13. EXISTING DRIVEWAY CURB AND SIDEWALK
 - 14. PROPOSED DRIVEWAY CURB AND SIDEWALK
 - 15. EXISTING DRIVEWAY CURB, SIDEWALK AND PAVEMENT
 - 16. PROPOSED DRIVEWAY CURB, SIDEWALK AND PAVEMENT
 - 17. EXISTING DRIVEWAY CURB, SIDEWALK AND DRIVEWAY
 - 18. PROPOSED DRIVEWAY CURB, SIDEWALK AND DRIVEWAY
 - 19. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND PAVEMENT
 - 20. PROPOSED DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND PAVEMENT
 - 21. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK
 - 22. PROPOSED DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK
 - 23. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND PAVEMENT
 - 24. PROPOSED DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND PAVEMENT
 - 25. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND DRIVEWAY
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 - 27. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND DRIVEWAY AND PAVEMENT
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 - 29. EXISTING DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND DRIVEWAY AND SIDEWALK
 - 30. PROPOSED DRIVEWAY CURB, SIDEWALK, DRIVEWAY AND SIDEWALK AND DRIVEWAY AND SIDEWALK



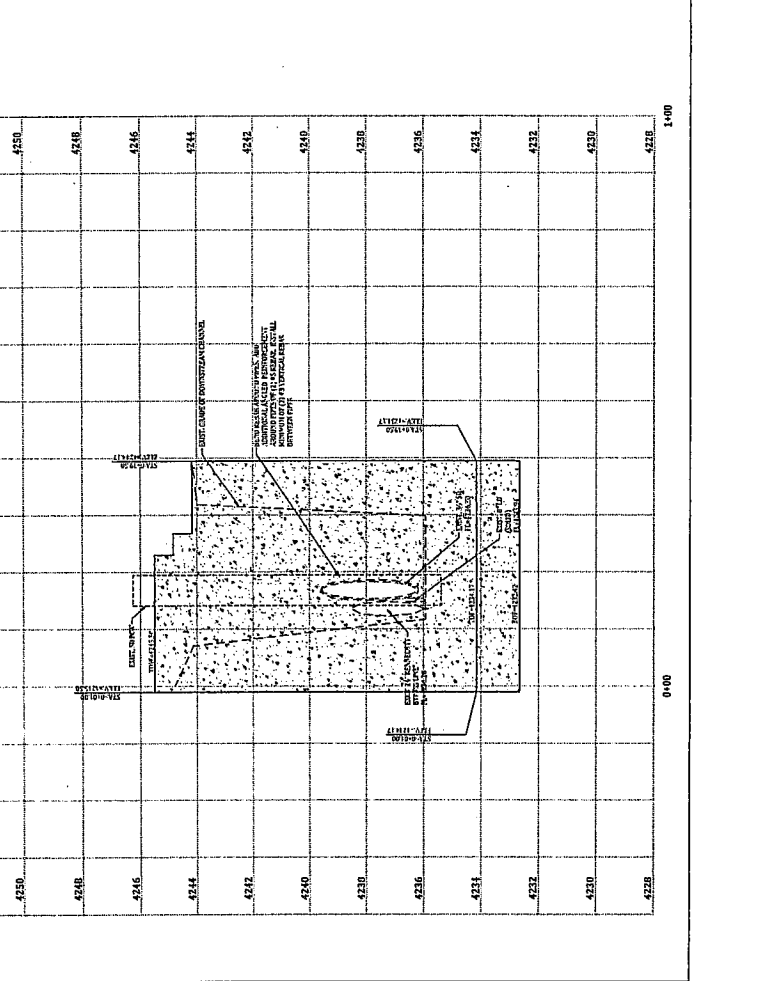
CONCRETE RETAINING WALL DETAIL

SCALE: 1/2" = 1'-0"

- GENERAL STRUCTURAL NOTES FOR RETAINING WALL**
1. CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 308.4 "STRENGTH IN CONCRETE" AND ACI 309 "CONCRETE MIXTURE PROPORTIONS FOR HIGH STRENGTH CONCRETE".
 2. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 308.4 AND ACI 309.
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REINFORCING SPACING TABLE - TYPICAL U.N.O.

BAR SIZE	AREA (IN ²)	CONCRETE	
		FOOTING	WALL
#4	0.40	12"	16"
#5	0.61	10"	14"
#6	0.87	8"	12"
#7	1.20	6"	10"
#8	1.60	5"	8"



SCALE: HORIZ. 1" = 10' VERT. 1" = 2'